

9.3 Front Garden

The front garden is turfed on both sides of a terracotta and black diamond-pattern quarry tiled path, running from the opening in the front wall to the entrance door.

The tiling is in a reasonable condition; however, there are a small number of damaged tiles and most of the grouting has been lost.

It is proposed that those damaged tiles are replace like-for-like and the whole area is re-grouted.

During any construction works, it is very important that this path is protected from further damaged.



10.0 Interior - Ground Floor - Entrance Corridor

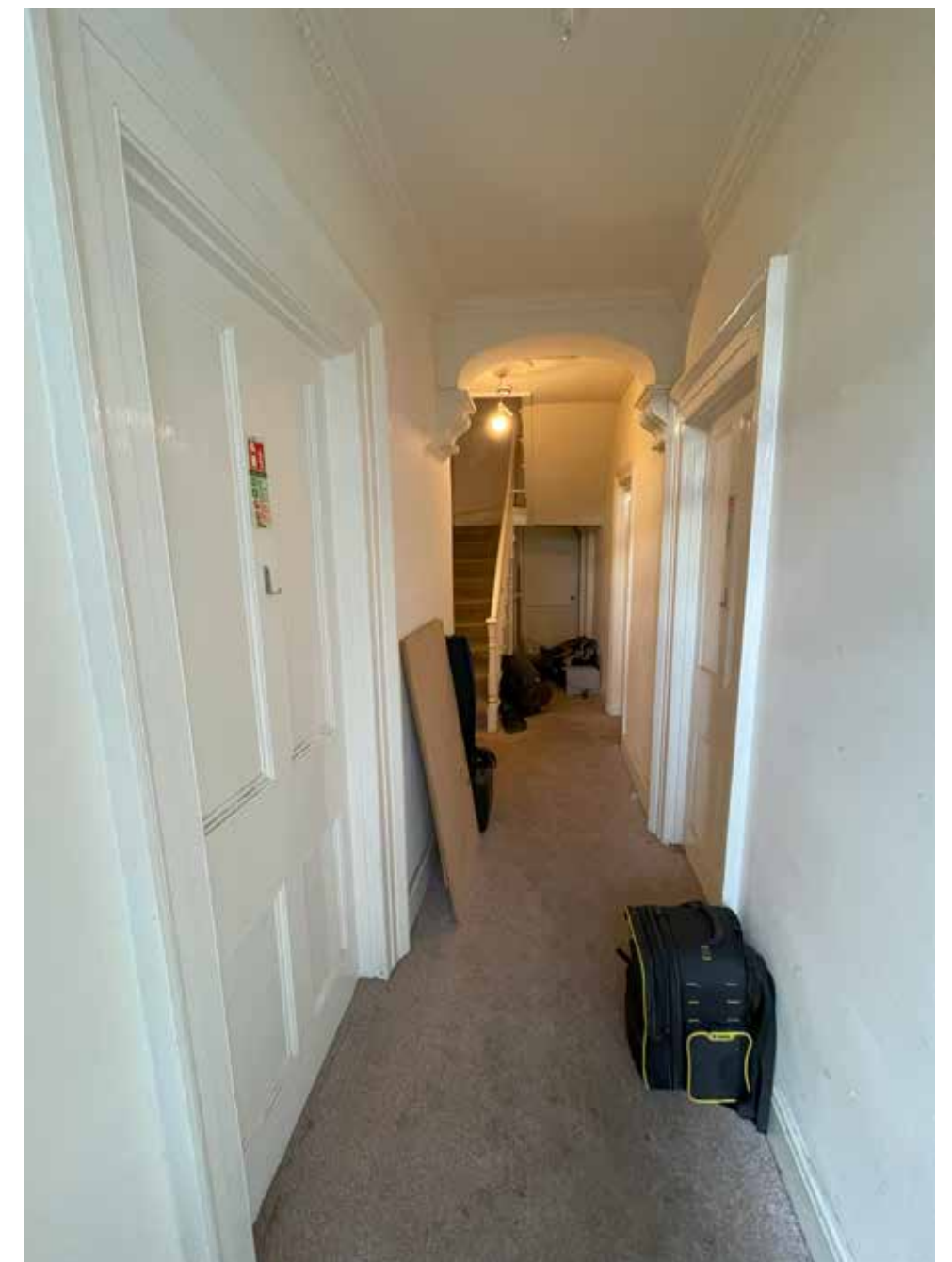
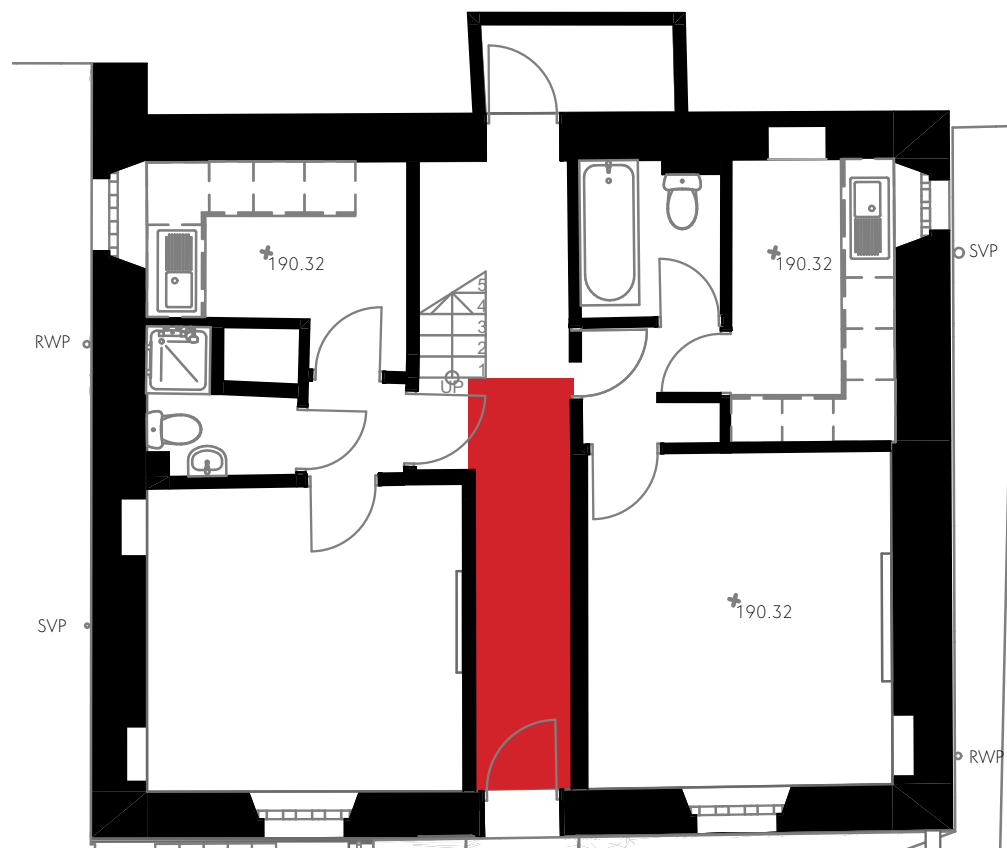
The walls and ceiling are plastered and painted cream, with an egg-and-dart cornice at the wall/ceiling junction and a decorated lighting rose in the centre. The walls are presumed to be built of masonry. It is not clear what the plater is, but it is assumed to be gypsum.

The doors are four-panelled timber doors with deep timber architraves. The skirtings are also timber and are torus in profile. All are painted off-white.

There are a number of scars on the paintwork; however, generally, the fabric and finishes are in a reasonable condition.

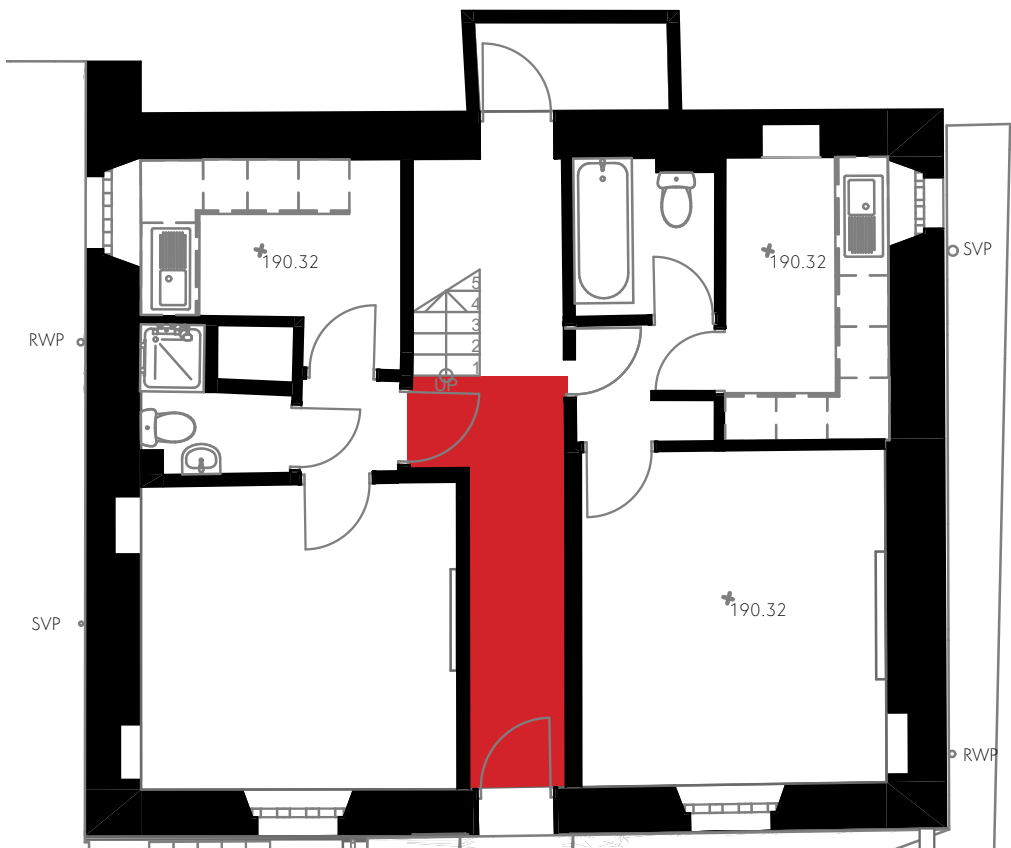
The floor is carpeted, which is a little worn, and there is a matwell at the front.

This is an attractive entrance lobby / corridor. In all regards, this is the most attractive aspect of the interior. The proposals do not change this.



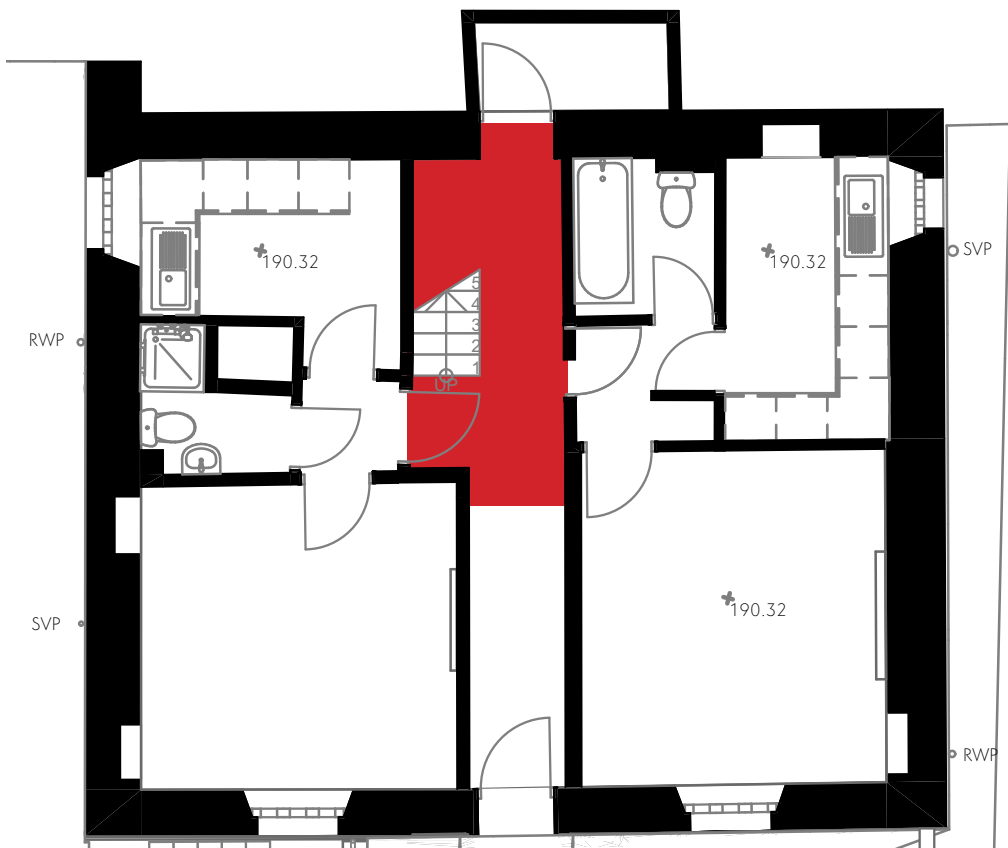
10.0 Interior - Ground Floor - Entrance Lobby

Where the entrance corridor becomes the stair lobby, an interesting arch flies over the junction, springing from twinned swirled corbels. The egg-and-dart cornice continues over the top.



10.0 Interior - Ground Floor - Staircase

The single staircase is a timber staircase, carpetted; with an ovular handrail, square balusters and a turned round newel posts; all painted white. Aside from the wear on the carpet, this appears all to be in reasonable condition

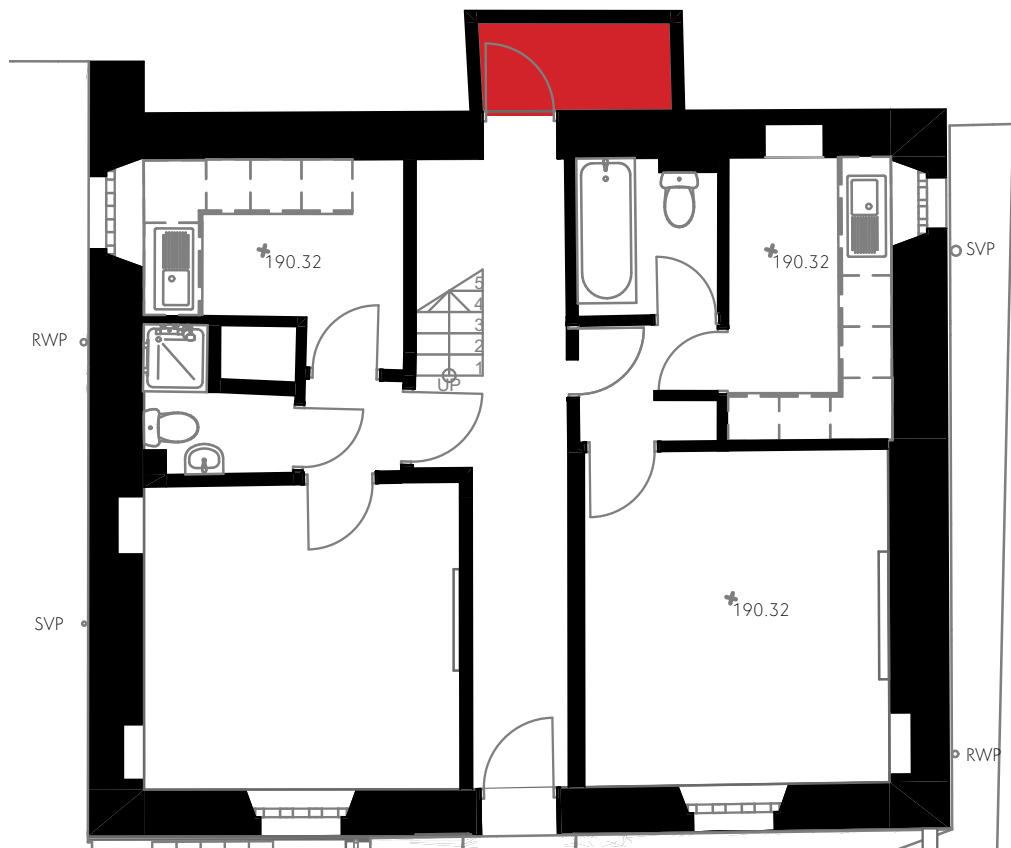


10.0 Interior - Ground Floor - Rear Store Room

The masonry enclosure store at the back of the corridor is ‘landlocked’ with the building behind and the matching store above. It is suffering from damp and mould growth on all four walls and the soffit. Containing various elements, an completely dark inside, it is difficult to get a good appreciation for its detailed condition.

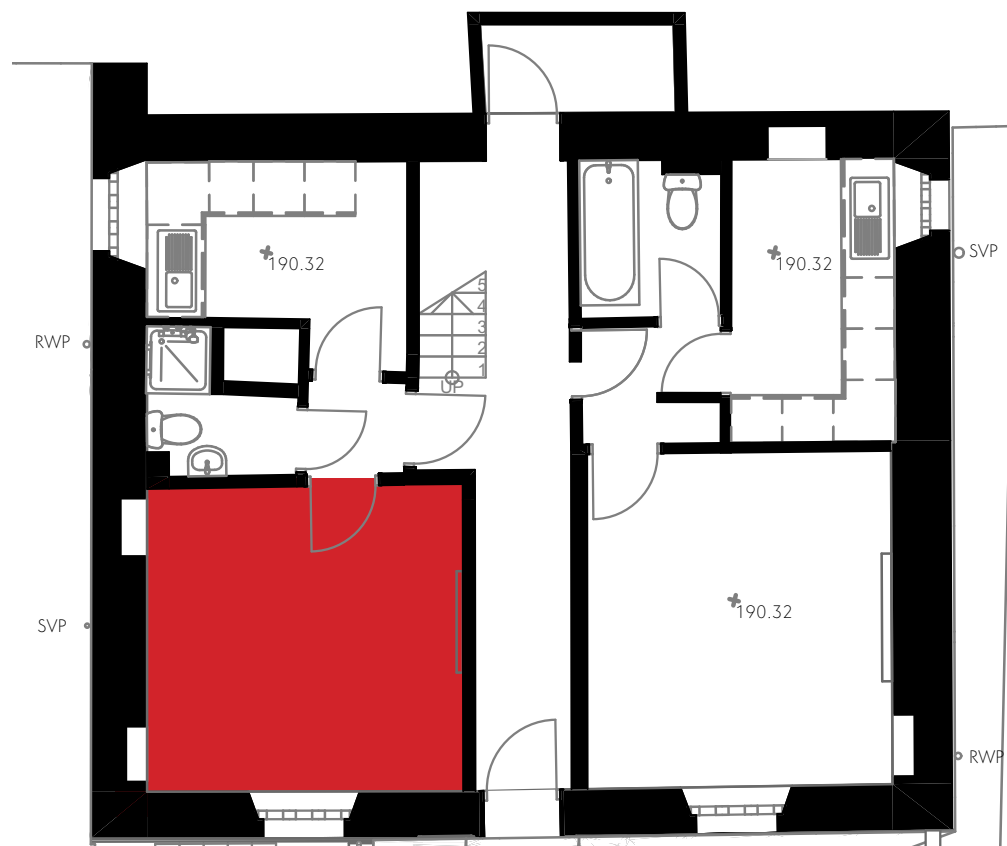
There appears to be no ventilation at all to the space, and no heating. To that end, condensation and mould growth, with cold bridging to the envelope, is inevitable.

The proposals involve adding a heating source to the space and providing ventilation. This is likely to be in the form of a door transfer grille at the bottom and top of the door, in order to encourage some cross ventilation. However, given that this will be used as a store, and it is within a fire escape route, the grilles will need to be intumescent fire-rated grilles. This intervention will need to be discussed with the Building Control Officer.



10.0 Interior - Ground Floor - West Flat Front Room

Much as the central entrance lobby, the front room to the West Flat is of painted plastered walls and ceilings with an egg-and-dart cornice and a ceiling rose. The floor is carpetted; the door is a painted four-panelled timber door and the window a painted timber window with double glazing. All appear to be in a good condition.

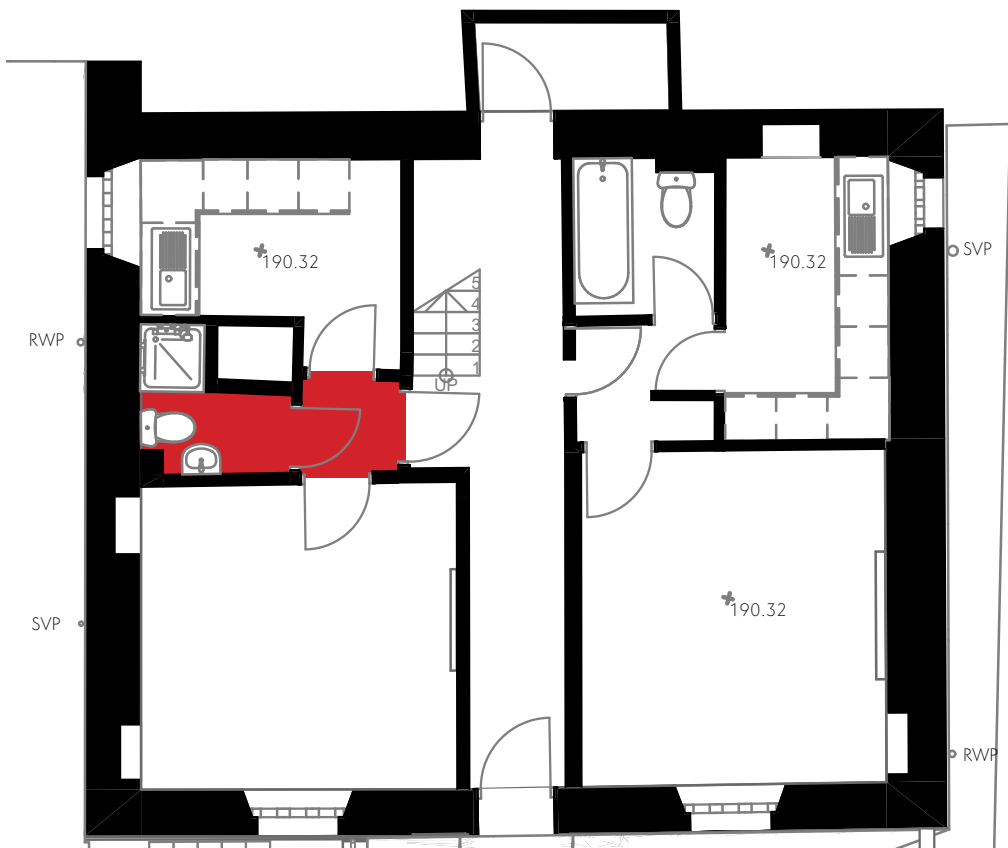


10.0 Interior - Ground Floor - West Flat Front Room



10.0 Interior - Ground Floor - West Flat Bathroom and Lobby

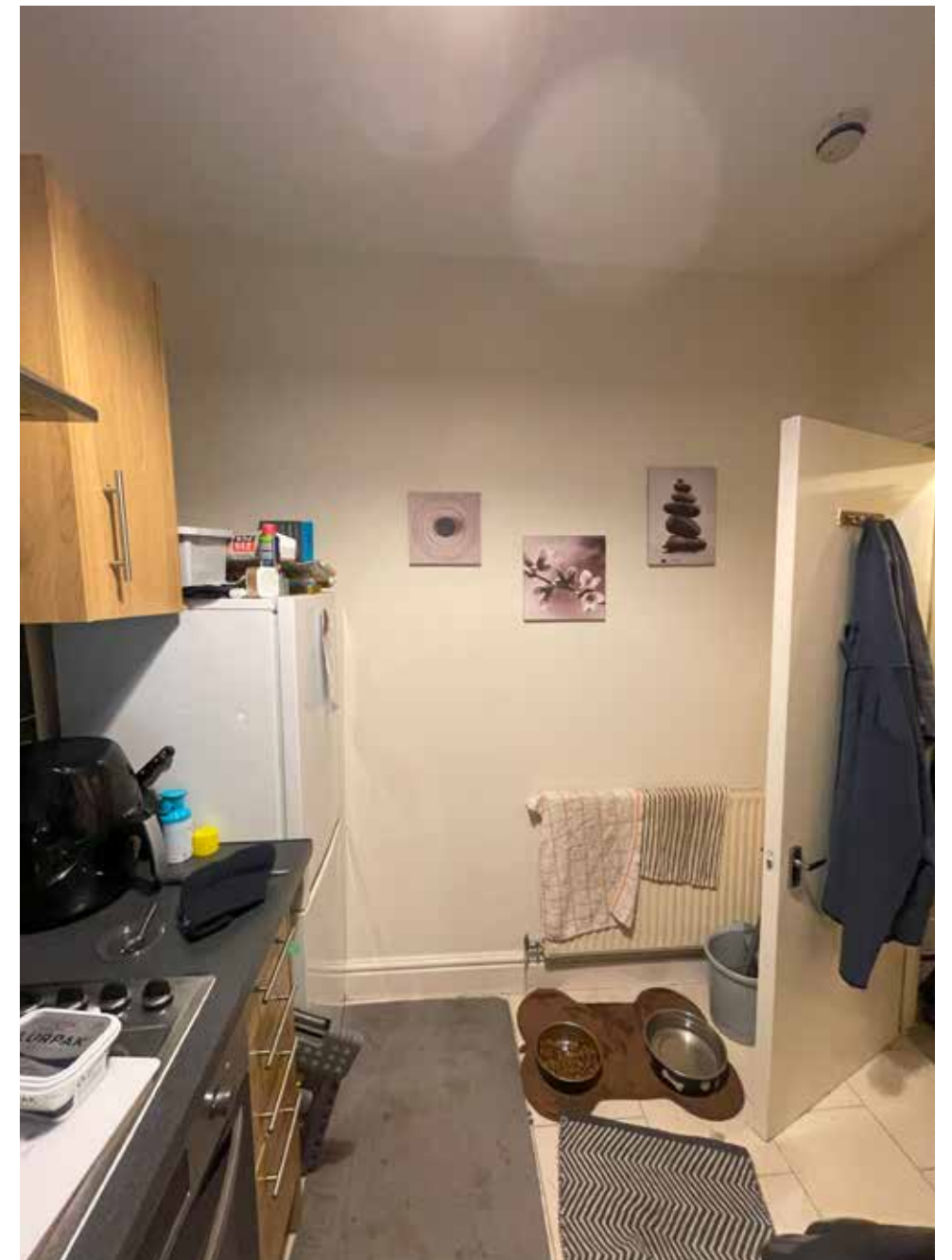
Also with painted plastered walls and ceilings (this time with no cornice), and timber four-panelled painted doors, the floor to the bathroom is of ceramic tiling and, to the lobby, of vinyl. All appears to be in a reasonable condition.



10.0 Interior - Ground Floor - Kitchen

With painted plastered walls and ceilings (again with no cornice), with some splashback tiling above the kitchen units, and a timber flush painted door, the floor to the kitchen is of ceramic tiling; and the window is timber-frame, single glazing. All appears to be in a reasonable condition.

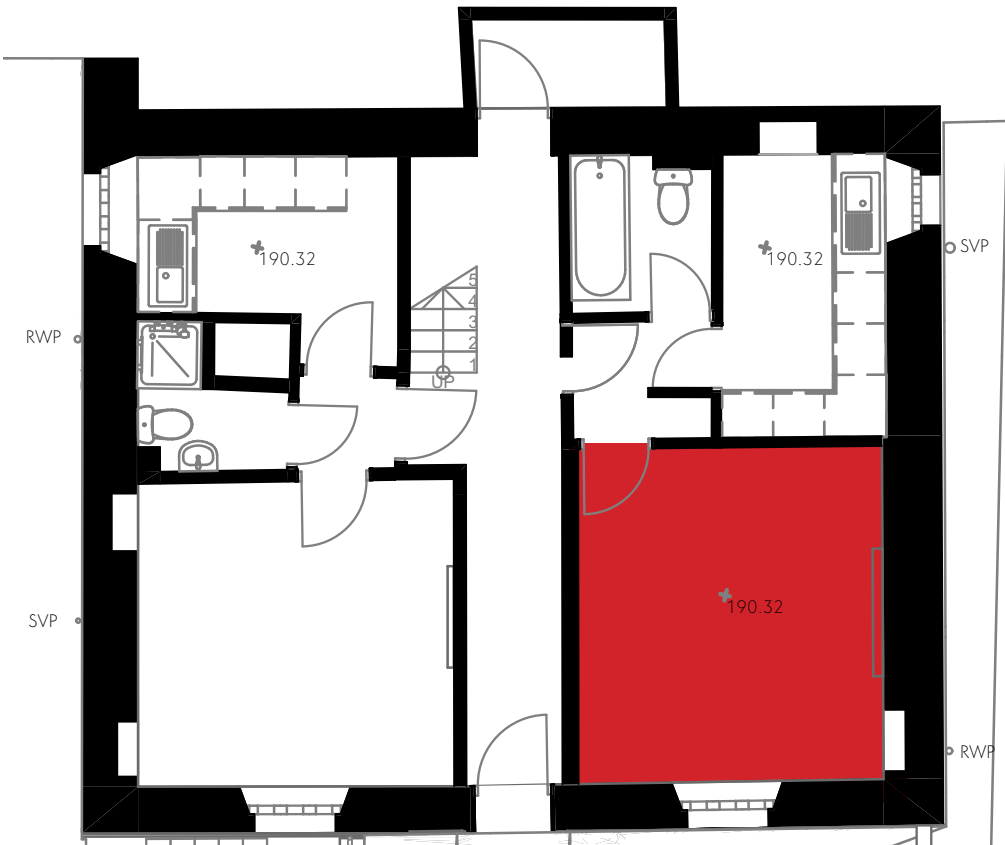
The proposals replace the glass in the window with Slimline double glazing.



10.0 Interior - Ground Floor - East Flat Front Room

Whilst, also of painted plastered walls and ceiling, with egg-and-dart cornice and ceiling rose; this room and flat is coated with staining and wet - to walls and ceiling - and large areas of mould growth. One questions why this flat is so bad, whilst the matching flat on the other side is not. Indeed, the window is double glazed, and new. The proposals will involve removing all of the plaster and investigating the masonry behind. There could be defects in the walls; there could be cold-bridges; there could be damp coming in from outside and, unable to escape, it has saturated the walls, causing damp conditions internally. However, the level of condensation in this flat is extremely high - note the water streaming down the window, which is new and double-glazed. One feels that part of the problem may be with the tenant's living habits. There appears to be no background heating on (we were advised that the boiler did not always work); it does not look like the windows were often opened to ventilate the space; insulation had been applied to the inside face of walls (thereby stopping any warmth getting into the walls and drying them out); and it looked like washing was regularly dried in the space and cooking a regular thing, with questionable hood ventilation.

There may well be an issue with the walls; they may well be holding moisture unable to escape due to the cementitious render and gypsum plaster; there may well be gaps in the construction and/or cold-bridges. This will all need to be investigated once the render and plaster is off. However, there is also poor heating (maybe none), poor ventilation (arguably none) and a lot of moisture-producing activity inside. We are also aware that the tenants regularly clean down the walls. This may also be adding moisture into the plaster.

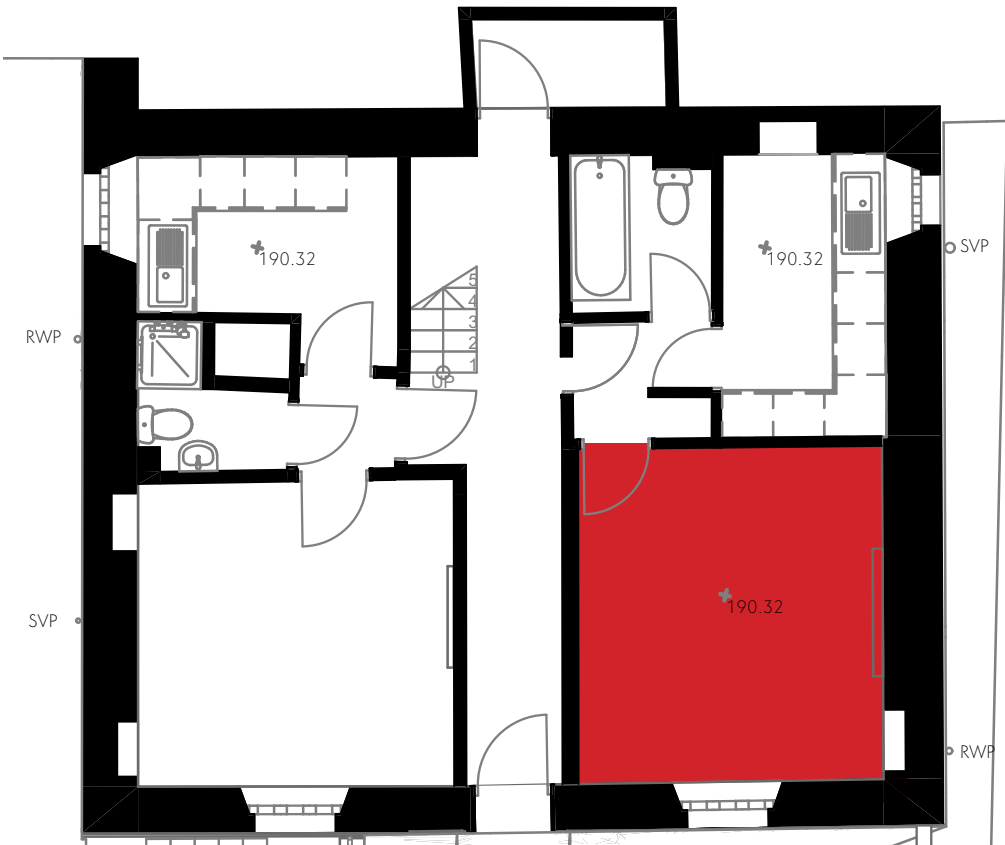


10.0 Interior - Ground Floor - East Flat Front Room

These photos are of the west wall to the room, facing the 'right of way' path, one the wall with roughcast cement render. The staining is awful around the fireplace particularly. It is orange in colour. It appears as though the fireplace is blocked up at this point, which is not ideal. However, to make this worse, at some time in the past, the chimneys appear to have been removed. This means that there may be no air movement / ventilation within the chimney breast and flue. As a result, the stale and stagnant air within the flue, holding old soot and 'nasties', is not ventilated out of the fabric, as intended; and so it sits there, reacts with moisture within the masonry, and is drawn, hygroscopically, through the masonry to the surface and stains the plaster an orange colour, and potentially leads to mould growth and noxious odours. The more moisture the wall holds, the worse the reaction. This soot can also badly damage the masonry itself.

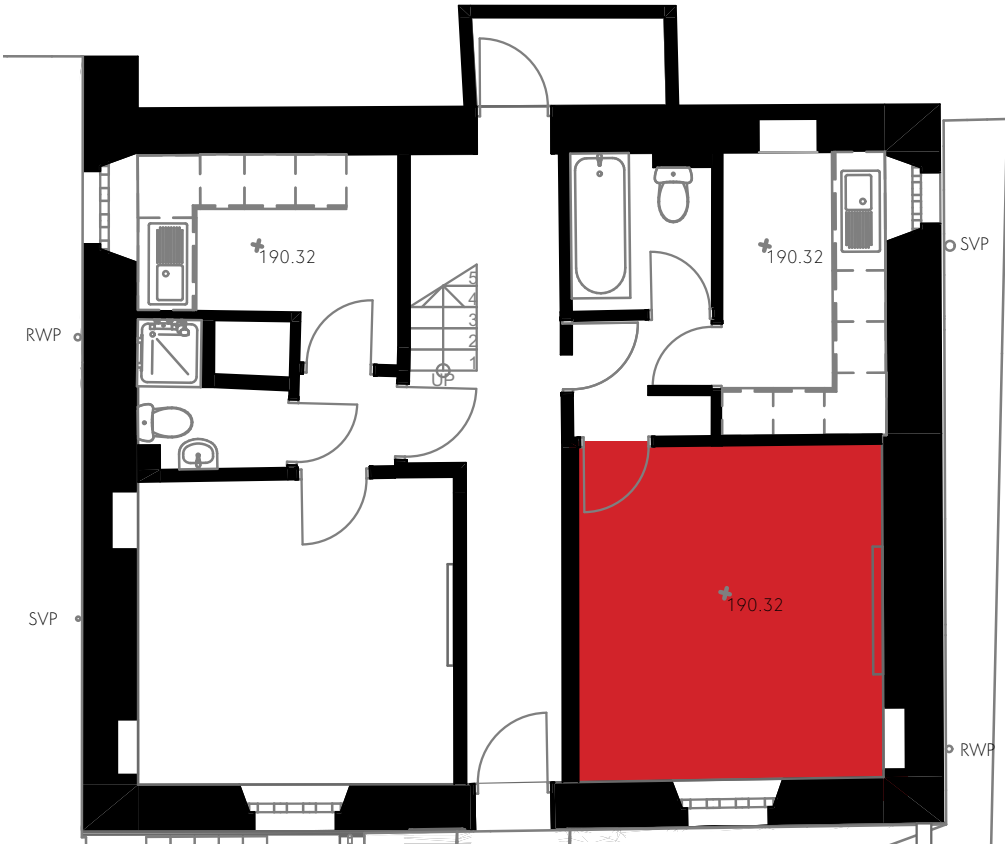
Once the plaster has been removed and the wall allowed to dry out, the proposals involve incorporating a vent in the face of the fireplace and a vent at the top of the roof, where the chimney used to be. Thus, some ventilation can be reintroduced into the flue.

Also, to the right of the fireplace is a recess. This is caked in black mould deposits. It is probable that this is so bad because the thickness of the wall in this area is much less than the rest of the wall; and so there is a greater cold-bridge to the outside and, hence, this is a colder part of the wall, which condensation would immediately move towards.



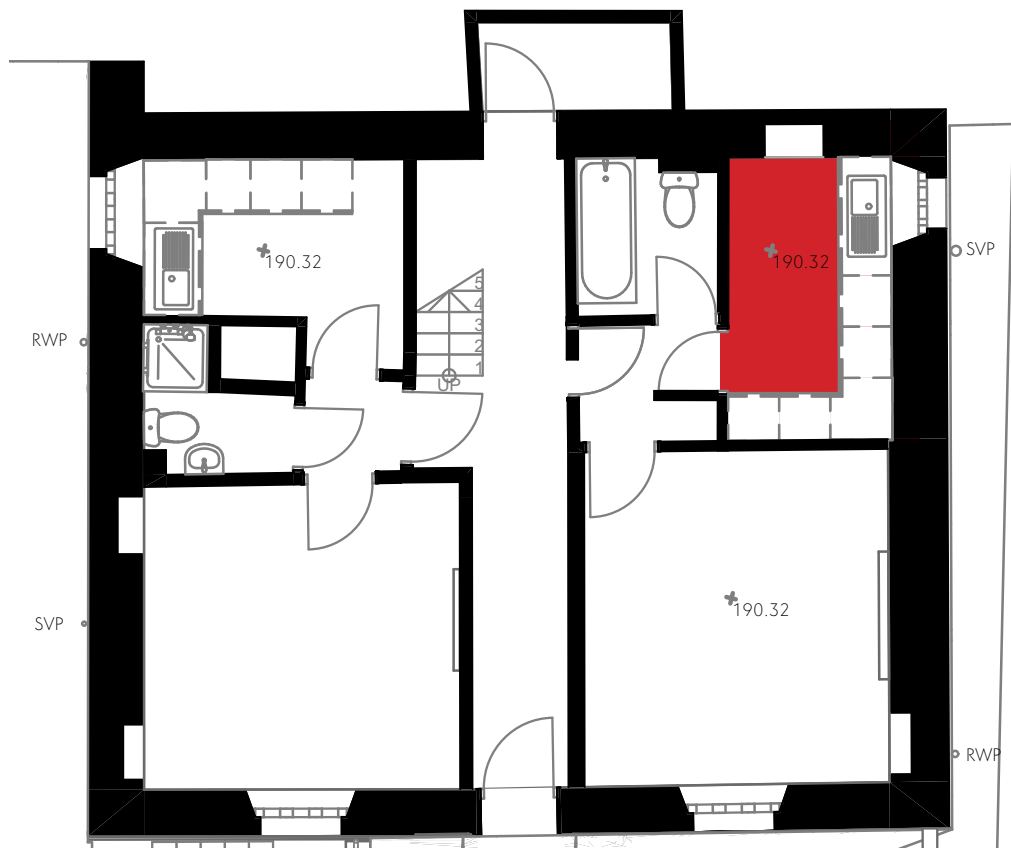
10.0 Interior - Ground Floor - East Flat Front Room

The floor to this room is a vinyl.



10.0 Interior - Ground Floor - East Flat Kitchen

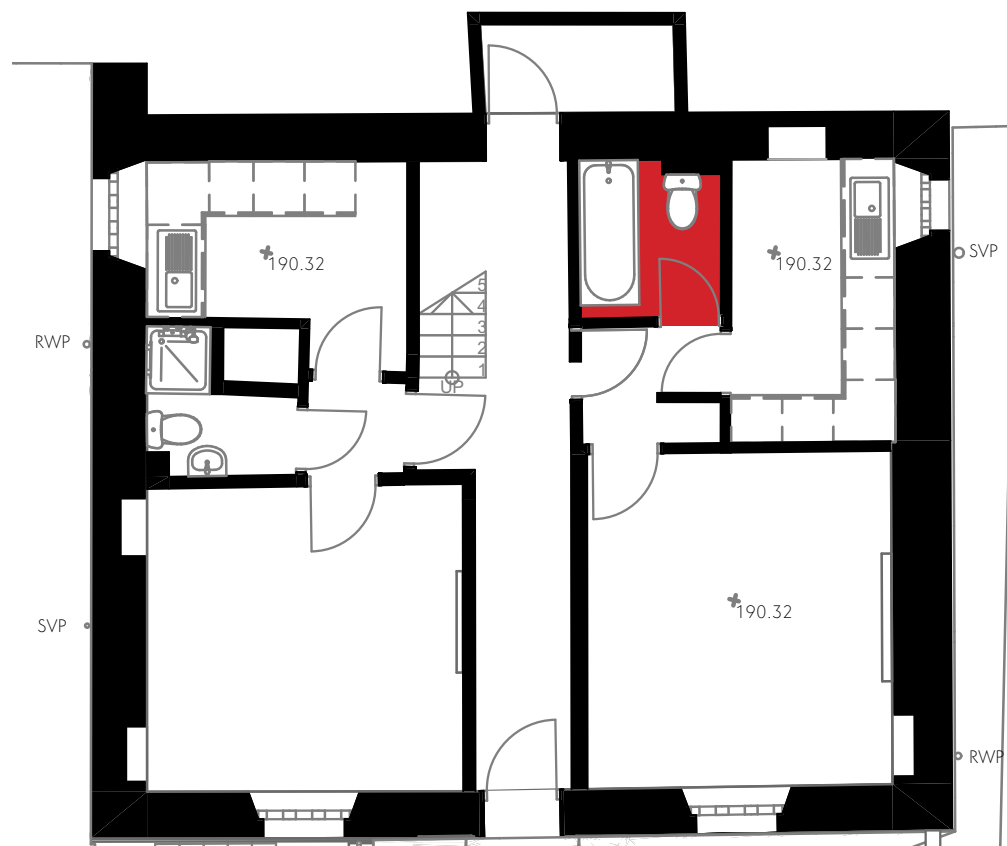
The kitchen is of the same painted plastered walls and ceiling (with no cornice), a ceramic tile floor and a flush timber door. The kitchen walls are also covered with ceramic tiling and kitchen units, which means that it is not possible to see whether there is also bad mould and saturation behind the tiles and units. However, there is clearly mould around the window head (which used to be a door), which suggests a cold-bridge at the lintol.



10.0 Interior - Ground Floor - East Flat Bathroom

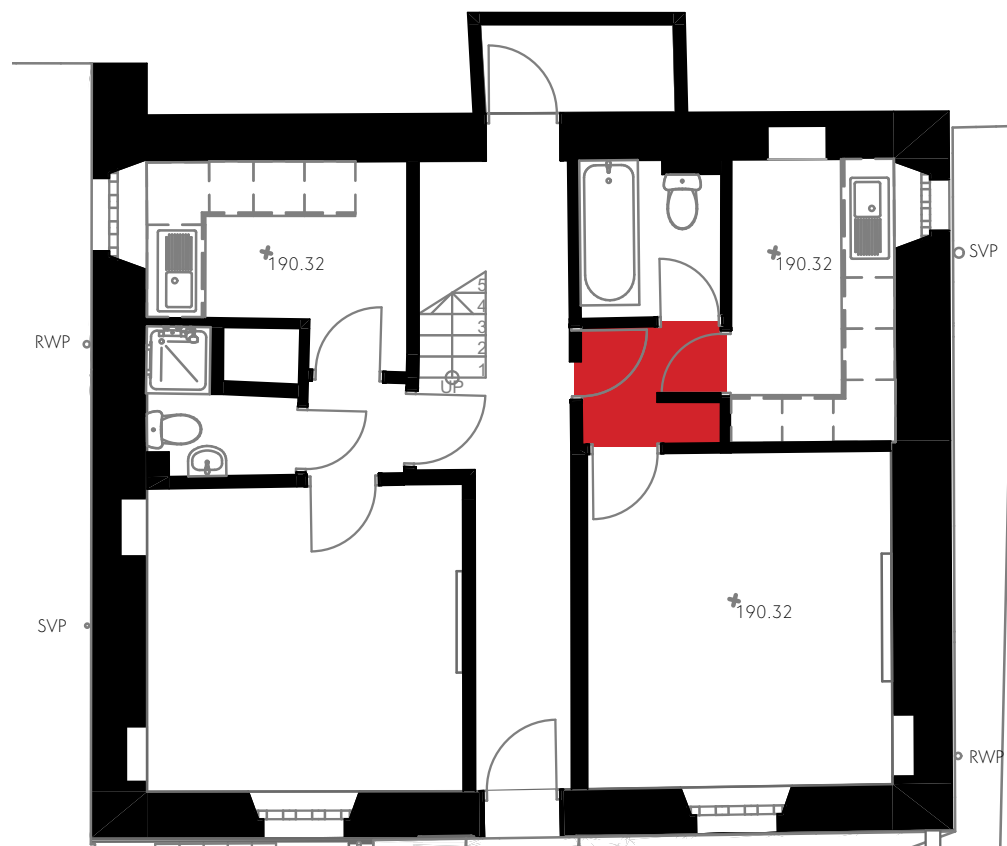
The bathroom is of the same painted plastered walls and ceiling (with no cornice), a ceramic tile floor and a timber four-panelled door. The walls are also covered, in part, with ceramic tiling, which means that it is not possible to see whether there is also bad mould and saturation behind the tiles. However, there is clearly mould to all of the walls and the ceiling.

There is a vent in this room; however, that it inefficient and insufficient for removing the moisture produced in this room. As a result, the moisture is condensating on the walls and causing mould and staining.



10.0 Interior - Ground Floor - East Flat Lobby

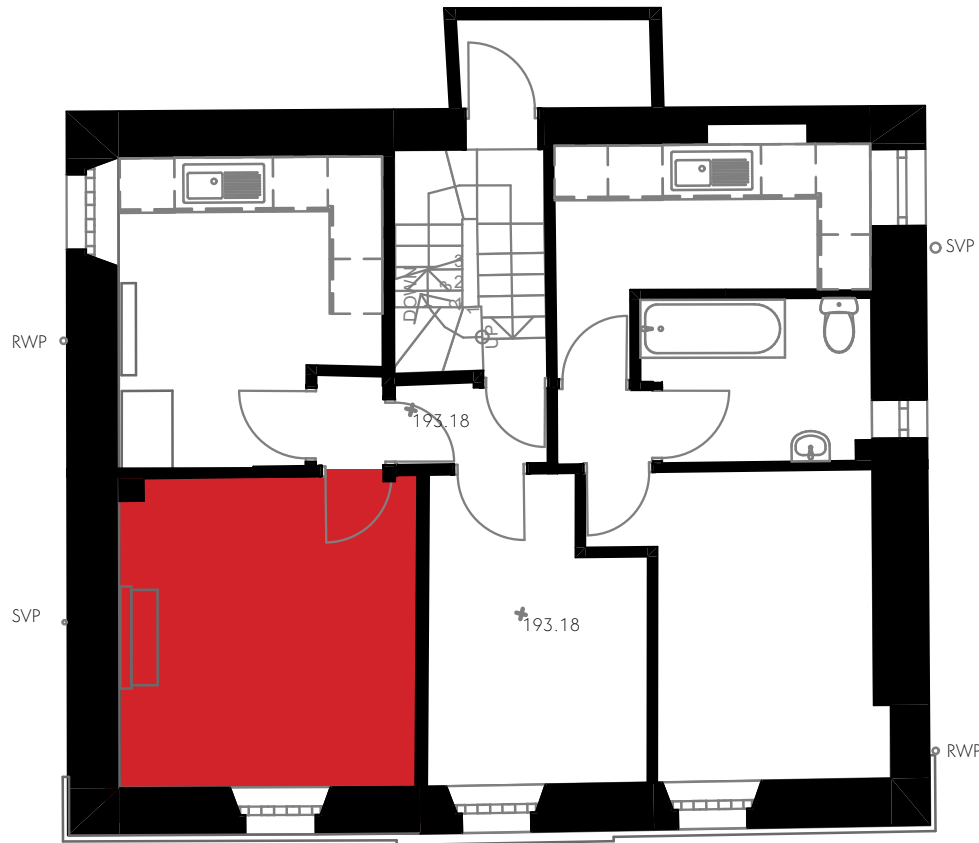
There is no obvious sign of significant staining and mould on the plastered walls to the lobby; however, it is very bad at the plastered ceiling. There is no means of ventilation in this space (which collects moisture from the bathroom, kitchen and bedroom) and no apparent means of heating. As a result condensation is not controlled.



11.0 Interior - First Floor Flat - South West Room

This front room is of painted plastered walls and ceiling with a moulded cornice and a ceiling rose. The floor is carpeted; the door is a painted four-panelled timber door and the window a painted timber sash window with double glazing. The internal partitioning appears to be of plasterboarded timber studwork. There is a timber and metal fireplace surround and marble hearth. The brickwork of the wall is apparent within the fireplace.

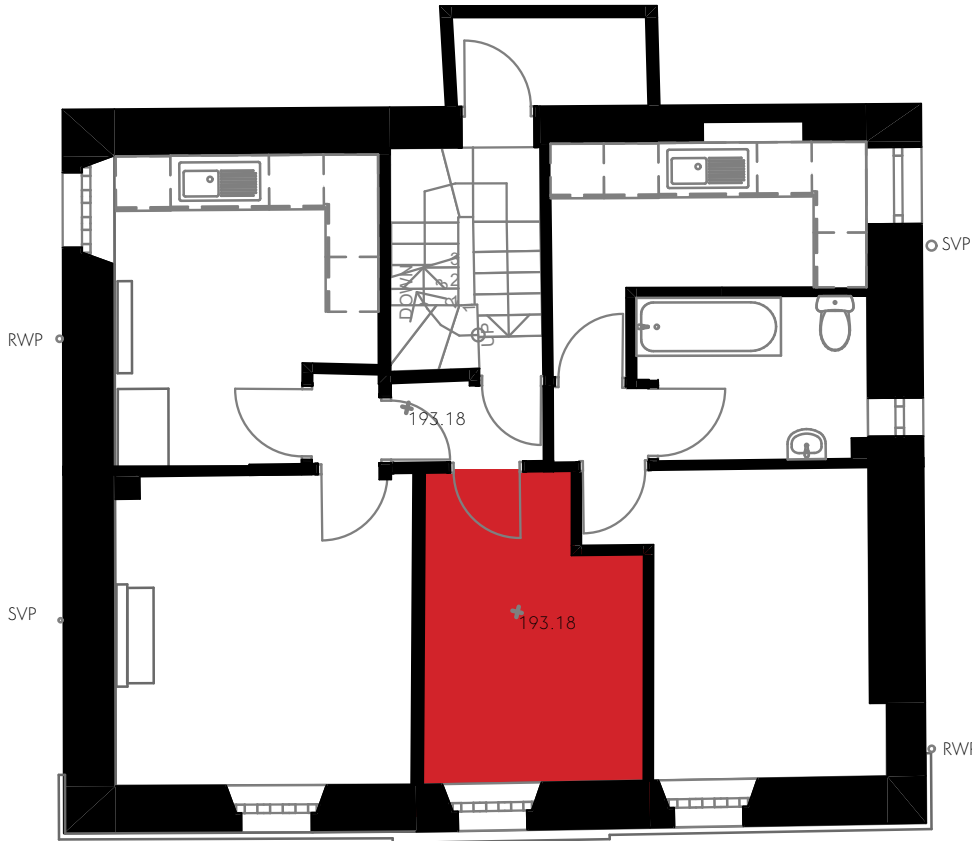
All appear to be in a reasonable condition.



11.0 Interior - First Floor - Central Room

This front room is also of painted plastered walls and ceiling with a moulded cornice and a ceiling rose. The floor is carpetted; the door is a painted four-panelled timber door and the window a painted timber sash window with double glazing. The internal partitioning appears to be of plasterboarded timber studwork.

There is water-staining, dampness, spalled plaster and crystallised salts on the external front wall to the left of the window (see photo below). There is a significant amount of cracking render on the outside just above this point. This might explain how the inside face of the wall is damp - water has been getting behind the render, cannot evaporate externally and so is finding its way to the inside face of the wall, and drying, leaving salt crystals. The plaster needs removal and a new lime plaster applied.

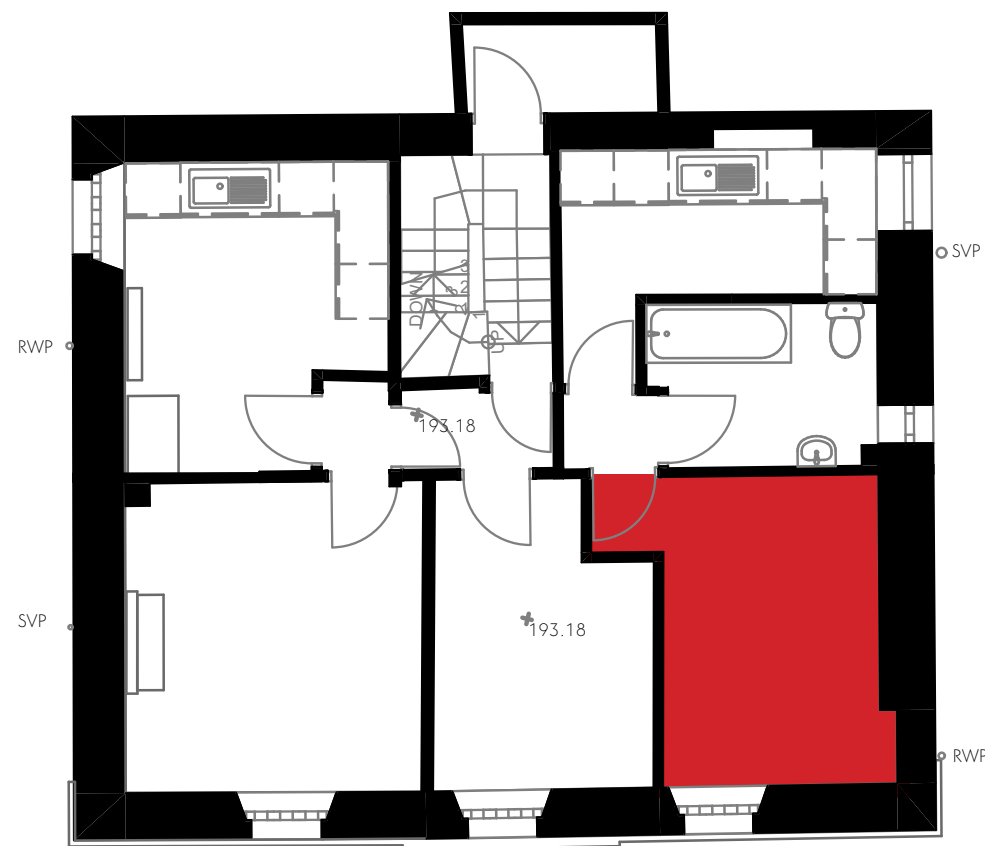


11.0 Interior - First Floor - South East Room

This front room is also of painted plastered walls and ceiling with a moulded cornice and a ceiling rose. The floor is carpetted; the door is a painted four-panelled timber door and the window a painted timber sash window with double glazing. The internal partitioning appears to be of plasterboarded timber studwork. There is a vent in the wall where it is presumed a fireplace used to be. This must be venting the flue within the wall.

In the south east corner of the room - which is the external corner - there is a large area of peeling paint, cracking plaster and damp. There has recently been some cementitious plaster repairing of this area. This is where the wall thins out to form this recess, and hence forms a greater cold-bridge. The surface of the thicker wall (where the fireplace used to be) is also showing signs of dampness. This is the corner and side wall of the building where the wall is at its dampest in the ground floor below. This certainly suggests that there is a damp build-up to this part of the wall. It is an area of wall where the render externally is looking especially dark, stained and damp; and it is the area where there is a rain water downpipe, which might have been leaking; and an area where the old chimney breast may not be suitable vented.

The proposals involve the removal of the internal plaster and, probably, the removal of the external render. The chimney flue is to be vented at top and bottom, and in the middle; and the rainwater downpipe is to be replaced.



11.0 Interior - First Floor - Rear Kitchen

This rear kitchen is also of painted plastered walls and ceiling with no cornice. There is a run of kitchen units on two walls. The floor is of ceramic tiling. The door is a flush painted timber. The window is painted timber, with a top-hung casement. The glazing is single-glazed. The internal partitioning appears to be of plasterboarded timber studwork. There is a timber and metal fireplace surround, with both brickwork and stonework of the wall apparent within the fireplace.

The condition of this room is reasonable; however, there is mould growth around the window, which suggests cold-bridging and condensation. This is not helped by the fact that the window is single-glazed. As such, the proposals replace this with Slimline double-glazing.

